

**SALTON COMMUNITY SERVICES DISTRICT**

**Architectural Committee **Agenda****

**1209 Van Buren Ave. Salton City, CA 92275**

[www.saltoncsd.ca.gov](http://www.saltoncsd.ca.gov)

**June 11, 2026**

**Open Session 9:30 a.m.**

**COMMITTEE MEMBERS:**

Israel Gonzales, Chairperson  
Lizabeth Flowers, Committee Member  
Barbara Quiroz, Committee Member  
Juan Ventura, Committee Member

**STAFF:**

Jazmine Madrigal, Administrative Assistant

**1. CALL TO ORDER:** 9:30 A. M.

**2. ROLL CALL:**

**3. PLEDGE OF ALLEGIANCE:** Israel Gonzales, Chairperson

**4. PUBLIC COMMENTS:**

Pursuant to California Government Code Section 54954.3 members of the public may address the Board at this time on any items of public interest that are within the Board's subject matter jurisdiction. The Ralph M. Brown Act, however, prohibits the Board from taking action on any matter not appearing on the agenda. Personal attacks on individuals, slanderous comments, or comments, which may invade an individual's personal privacy, are prohibited. Those who wish to address the Board should come to the microphone. Members of the public will be given three (3) minutes to address the board on any items of public interest. Public comments will be limited to a maximum of (30) thirty minutes per meeting.

**5. CONSENT CALENDAR ITEMS:**

Consent calendar items are expected to be routine and non-controversial, to be acted upon by the Architectural Committee at one time without discussion. If any committee member requests that an item be removed from the consent calendar, it will be removed so that it may be acted upon separately.

- A. Approve the Minutes for the Architectural Committee on May 14, 2026.

**6. OLD BUSINESS:**

**7. NEW BUSINESS:**

Plan#3166

Elsy Leyva 976 Argentina Ave. Thermal Ca, 92274 APN:015-321-023-000

Plan#3167

Dennis C. Rieger 2292 Harbor Dr. Thermal Ca, 92274 APN:012-412-023-000

Plan#3168

Miguel Hernandez 1257 Nile Dr. Thermal Ca, 92274 APN :008-713-003-000

**8. ADJOURNMENT:**

Upon written request, this agenda will be made in appropriate alternative format to persons with disabilities as required by Section 202 of the American with Disabilities Act of 1990. Any person with a disability who requires a modification or accommodation in order to participate in a meeting should direct such request to the Secretary of the Board at least 72 hours before the meeting. Any public record, relating to an open session agenda item, that is distributed within 72 hours prior to the meeting is available for public inspection at 1209 Van Buren St, Suite 1, Salton City, California 92275.

**SALTON COMMUNITY SERVICES DISTRICT**

**Architectural Committee Minutes**

**1209 Van Buren Ave. Salton City, CA 92275**

[www.saltoncsd.ca.gov](http://www.saltoncsd.ca.gov)

**May 14, 2026**

**Open Session 9:30 a.m.**

**COMMITTEE MEMBERS:**

Israel Gonzales, Chairperson  
Lizabeth Flowers, Committee Member  
Barbara Quiroz, Committee Member  
Juan Ventura, Committee Member

**STAFF:**

Jazmine Madrigal, Administrative Assistant

**1. CALL TO ORDER:** 9:30 A. M.

**2. ROLL CALL:**

Israel Gonzales: Present                      **Juan Ventura: Present**  
Lizabeth Flowers: Present  
Barbara Quiroz: Present

**3. PLEDGE OF ALLEGIANCE:** Israel Gonzales, Chairperson

**4. PUBLIC COMMENTS:**

Pursuant to California Government Code Section 54954.3 members of the public may address the Board at this time on any items of public interest that are within the Board's subject matter jurisdiction. The Ralph M. Brown Act, however, prohibits the Board from taking action on any matter not appearing on the agenda. Personal attacks on individuals, slanderous comments, or comments, which may invade an individual's personal privacy, are prohibited. Those who wish to address the Board should come to the microphone. Members of the public will be given three (3) minutes to address the board on any items of public interest. Public comments will be limited to a maximum of (30) thirty minutes per meeting.

**5. CONSENT CALENDAR ITEMS:**

Consent calendar items are expected to be routine and non-controversial, to be acted upon by the Architectural Committee at one time without discussion. If any committee member requests that an item be removed from the consent calendar, it will be removed so that it may be acted upon separately.

- A. Approve the Minutes for the Architectural Committee on March 12, 2026.  
**Barbara Quiroz motioned to approve minutes for March 12, 2026. Lizabeth Flowers seconded the motion.**

**Roll Call:**

Israel Gonzales: Yes                      **Juan Ventura: Yes**  
Lizabeth Flowers: Yes  
Barbara Quiroz: Yes

**6. OLD BUSINESS:**

**7. NEW BUSINESS:**

**Plan#3162**

Raul Vargas 75 Redondo Ave Thermal Ca, 92274 APN:001-133-002-000

**Barbara Quiroz motioned to approve with the changes correcting lot size based on property title and variance letter for Plan#3162 Raul Vargas 75 Redondo Ave thermal Ca, 92274 APN:001-133-002-000. Lizabeth Flowers seconded the motion.**

**Roll Call:**

**Israel Gonzales: Yes                      Juan Ventura: Yes**  
**Lizabeth Flowers: Yes**  
**Barbara Quiroz: Yes**

**Plan#3163**

Joseph Lozano 1355 Nile Dr. Thermal Ca, 92274 APN:008-501-011-000

**Lizabeth Flowers motioned to approve Plan#3163 Joseph Lozano 1355 Nile Dr. Thermal Ca, 92274 APN:008-501-011-000. Juan Ventura seconded the motion.**

**Roll Call:**

**Israel Gonzales: Yes                      Juan Ventura: Yes**  
**Lizabeth Flowers: Yes**  
**Barbara Quiroz: Yes**

**Plan#3164**

Luis Mandujano 1445 Grissom Ave. Salton City Ca, 92274 APN:007-841-006-000

**Barbara Quiroz motioned to approve Plan#3164 Luis Mandujano 1145 Grissom Ave. Salton City Ca, 92274 APN: 007-841-006-000. Lizabeth Flowers seconded the motion.**

**Roll Call:**

**Israel Gonzales: Yes                      Juan Ventura: yes**  
**Lizabeth Flowers: Yes:**  
**Barbara Quiroz: Yes**

**Plan#3165**

Mario Portugal 2142 Iridescent Ave. Salton City, Ca 92275 APN :015-123-007-000

**Barbara Quiroz motioned to approve Plan#3165 Mario Portugal 2142 Iridescent Ave. Salton City Ca 92275 APN: 015-123-007-000. Lizabeth Flowers seconded the motion.**

**Roll Call:**

**Israel Gonzales: Yes                      Juan Ventura: Yes**  
**Lizabeth Flowers:Yes**  
**Barbara Quiroz: Yes**

**8. ADJOURNMENT:**

**Meeting adjourned at 10:07 A.M.**

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**Jazmine Madrigal, Administrative Assistant**

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**Israel Gonzales, Chairman**

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**Salton Community Services District**  
Architectural Committee Building Approval Form  
Plan# 3166

Chartered by Chapter 59 of 1985 Codes and Laws - state of CA  
Plans must conform to covenants, Conditions and Restrictions of tract.

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

**Architectural Committee Review Fees:**

Existing Building Additions: \$50.00 \_\_\_\_\_ Check# \_\_\_\_\_  
New Construction: \$50.00 2 \_\_\_\_\_ Check# CASH  
Sewer Capacity Fee: \$1000.00 \_\_\_\_\_ Check# \_\_\_\_\_  
Sewer Connection Fee: \$2700.00 \_\_\_\_\_ Check# \_\_\_\_\_ (Deposit) \_\_\_\_\_

(Capacity Fee/Connection Fee Payable at time of sewer connection Plan Approval fee and Developer fee due at time of plan submission.  
**THIS APPROVAL MEETS ALL SCSD CC&R'S, BUT MAY NOT MEET IMPERIAL COUNTY TITLE 9 LAND ORDINANCES.**  
**We only Accept Checks, cashier's checks, and money orders paid to Salton Community Services District.**

**ARCHITECTURAL PLAN REVIEW:**

Israel Gonzalez: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lizabeth Fowers: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Barbara Quiroz: \_\_\_\_\_ Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Juan Ventura: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lot# 28 Block# 4 Tract# 579 Zone: R1

APN: 015-321-023-008 Lot Size: 12,320

**Living Area**

Dimensions: Width: 10 Length: 52 Total Square Feet: 520

**Patios**

Dimensions: Width: 10 Length: 30 Total Square Feet: 300

**Carport or Garage**

Dimensions: Width \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Room Addition**

Dimensions: Width 10 Length: 40 Total Square Feet: 400

**Mobile/Manufactured/Modular Homes Only:**

Date of Manufacture: 1989 Expected Date of Delivery: \_\_\_\_\_

I, the undersigned, certify that all information is a true and accurate description of my plans and intentions.

Edey G. Aguilar  
\_\_\_\_\_  
Owner's Signature

Elsy Gabriela Leyva 909) 210-57-67  
\_\_\_\_\_  
Owner's Printed Name Daytime Phone Number

976 Argentina ave Thermal cal. 92274  
\_\_\_\_\_  
Address, City, State, Zip Code

A permit must be obtained within 2 years (24 months) from the date of approval. If a permit is not obtained, you will be required to resubmit for approval.

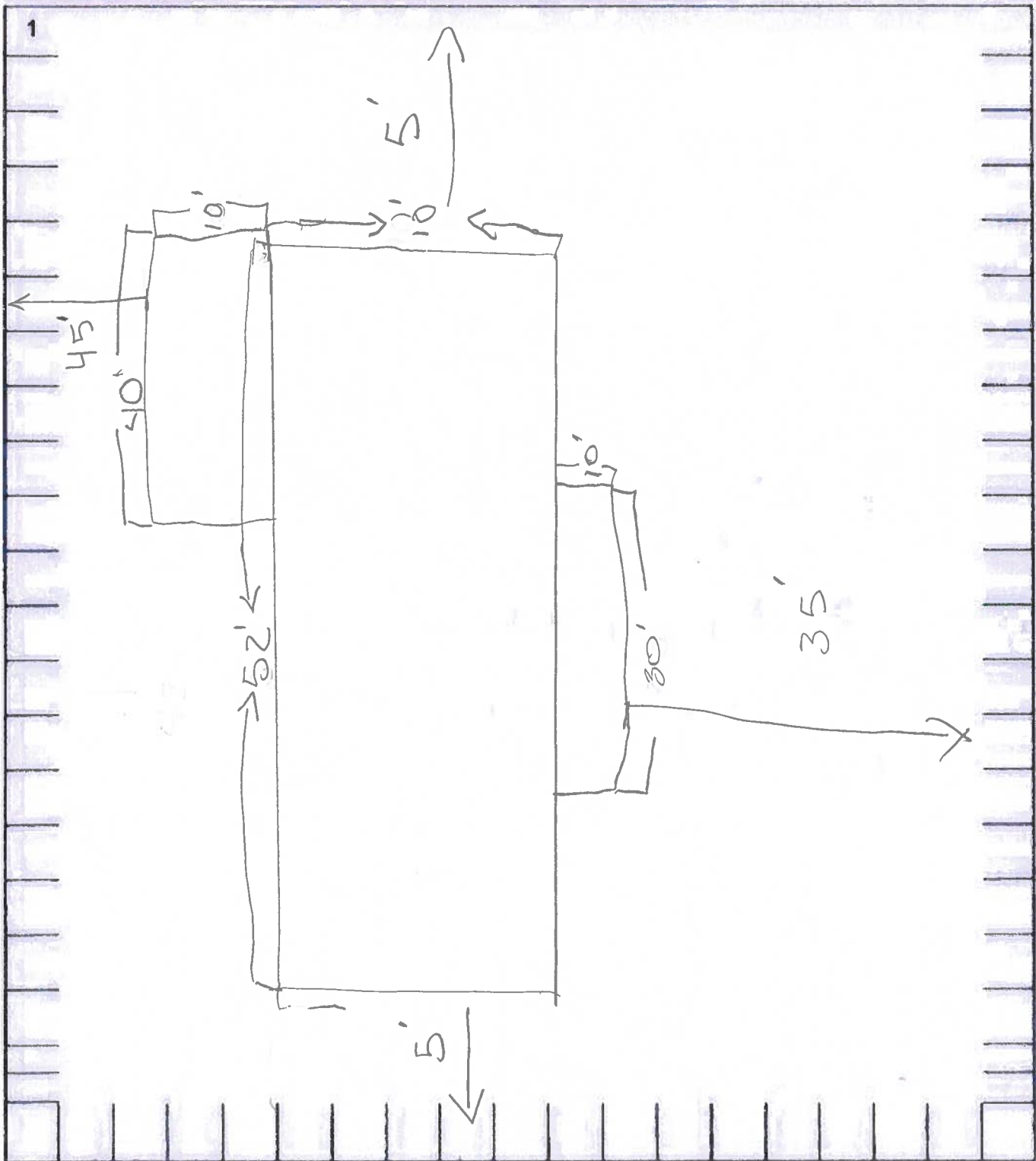
# SITE PLAN

I.C. PLANNING & DEVELOPMENT SERVICES DEPT  
801 Main Street, El Centro, CA 92243 (760) 482-4236

READ INSTRUCTIONS ON THE BACK! USE PEN TO DRAW - DO NOT USE PENCIL!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!



<small>NAME OF APPLICANT</small> 2 Eloy Gabriela Leyva	<small>APPLICANT PHONE NO.</small> 3 (909) 210-57-67	<small>SIZE OF PARCEL</small> 4 12,320
<small>PROJECT SITE ADDRESS</small> 5976 Argentina ave. Thermalca. 92274	<small>ASSESSOR'S PARCEL NO.</small> 6 015-321-023-000	

WHITE - OFFICE MASTER / YELLOW - ASSESSORS / PINK - APPLICANT

DECLARATION OF RESTRICTIONS

TRACT 579

THIS DECLARATION, made this 18 day of June, 1959, by SALTON RIVIERA, INC., a California Corporation, having its principal place of business in the City of Azusa, Los Angeles County, California, hereinafter referred to as the Declarant.

WHEREAS, the Declarant is the owner of that certain Tract No. 579, Imperial County, California, as per plat thereof recorded in Book 6, Pages 144, records of said County, and

WHEREAS the Declarant is about to sell, dispose of or convey the lots in said Tract No. 579 above described, and desires to subject the same to certain protective covenants, conditions, restrictions (hereinafter referred to as "Conditions") between it and the acquirers and/or users of the lots in said Tract.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That Declarant hereby certifies and declares that it has established and does hereby establish general plan for the protection, maintenance, development and improvement of said Tract, that

THIS DECLARATION is designed for the mutual benefit of the lots in said Tract and Declarant has fixed and does hereby fix the protective conditions upon and subject to which all lots, parcels and portions of said Tract shall be held, leased, or sold, and/or conveyed by them as such owners, each and all of which is and are for the mutual benefit of the lots in said Tract and of each owner thereof, and shall run with the land and shall inure to and pass said Tract and each and every parcel of land therein, and shall apply to and bind the respective successors in interest thereof, and are and each thereof is imposed upon said Tract as a mutual, equitable servitude in favor of each and every parcel of land therein as the dominant tenement or tenements.

SAID CONDITIONS ARE AS FOLLOWS:

That Lot 1 of Block 1 shall be set aside for use as a school site.

That Lots 1 thru 22 inclusive of Block 2, Lots 13 thru 23 inclusive of Block 25, and Lots 9 thru 15 of Block 24 shall be designated as multiple residence lots and shall be improved, used, and occupied under the conditions hereinafter set forth under ZONE R-3 REGULATIONS - CLASS I

That all the remaining lots within this subdivision shall be designated as single residence lots and shall be improved, used, and occupied under the conditions hereinafter set forth under ZONE R-1 REGULATIONS.

**II. GENERAL**

- A. No building, fence, patio, or other structure shall be erected, altered, added to, placed, or permitted to remain on said lots or any of them or any part of any such lot until and unless the plans showing floor areas, external design and the ground location of the intended structure along with a plot plan and a checking fee in the amount of five (\$5.00) dollars have been first delivered to and approved in writing by any two (2) members of a "Committee of Architecture" which shall be initially composed of C. V. BURWOOD, GEORGE MC CARTHY, and AUGUST DAWSON, provided that any vacancy on such committee caused by death, resignation, or disability to serve shall be filled on the nomination of SALTON RIVIERA, INC. It shall be the purpose of this committee to provide for the maintenance of a high standard of architecture and construction in such a manner as to enhance the aesthetic properties of the developed subdivision. Notwithstanding other requirements imposed, this committee shall require not less than twelve hundred (1,200) square feet of floor area for any single family residence INCLUDING carport, garage, covered porches, covered contiguous patios, etc., with a minimum floor area of eight hundred (800) square feet for living area in the dwelling portion of the structure. All structures shall basically be of ONE LEVEL construction and no two-story structure shall be permitted unless, in the opinion of the "Committee of Architecture" such a structure conforms to the over-all design and pattern of development. On commercial structures submitted for approval, this "Committee" may require changes, deletions, or revisions in order that the architectural and general appearance of all such commercial buildings and grounds be in keeping with the architecture of the neighborhood and such as not to be detrimental to the public health, safety, general welfare and architectural appearance affecting the property values of the community in which such use or uses are to be located.
- B. It shall remain the prerogative and in the jurisdiction of the "Committee of Architecture" to review applications and grant approvals for exceptions to this declaration. Variations from requirements and, in general, other forms of deviation from those restrictions imposed by this declaration, when such exceptions, variances and deviations do, in no way, detract from the appearance of the premises, nor in any way be detrimental to the public welfare or to the property of other persons located in the vicinity thereof, in the sole opinion of the "Committee".
- C. All buildings shall have a septic tank and leeching pit or pits, as may be required, installed in the rear yard, in accordance with Imperial County Ordinance No. 239 and regulations accompanying same.

III. RESIDENTIAL ZONES:

- A. As used in this declaration, "Residential Zones" means zones R-1, R-2 and R-3.
- B. A person shall not use any premises in any residential zone, which is designed, arranged or intended to be occupied or used for any purpose, other than expressly permitted in this declaration.
- C. In any building project, during construction and sixty (60) days thereafter, property in a residential zone may be used for the storage of materials used in the construction of the individual buildings in project and for the contractor's temporary office. Said construction period shall not exceed ninety (90) days, unless specifically approved by the Committee of Architecture.
- D. A person shall not keep or maintain any live pig or hog or livestock or goats, cows or fowl of any age in any residential zone, whether such animals are kept or maintained for the personal use of the occupants or otherwise.
- E. No person shall cause to be erected a sign, advertisement billboard or advertising structure of any kind of any of the unimproved residential lots, except that a temporary permit, limited to a ninety-day period, for signs for houses to be sold or exhibited be first obtained by application to the architectural committee. The architectural committee may approve the location of these signs within the front set-back of the lot.
- F. No temporary buildings, basement, cellar, tent, shack garage, barn or other outbuilding or structure shall, at any time, be used for human habitation, temporarily or permanently.
- G. A trailer may be used as a residence of the owner and his family during construction by such owner of a permanent residence, but only after approval has been gained from the architectural committee for such residence, but in no event shall said trailer be used longer than ninety days.
- H. The exterior portions of all buildings, which are constructed of wood, stucco or cement shall be painted or stained immediately upon completion or shall have color mixed in the final structural application.
- I. Residences shall have complete and approved plumbing installations before occupancy.
- J. A temporary Real Estate tract office, for the purpose of conducting the sale of property in the sub-division, upon which such office is located, for a period not to exceed one year, provided such tract office is not used for conducting a general real estate business. Any structure, used for such purpose, shall, at the end of such one year period, be either removed or used for a purpose permitted in the zone in which it is located.
- K. The storage of tools, landscaping instruments, household effects, machinery or machinery parts, empty or filled containers, boxes, or bags, trash, materials or other miscellaneous items that shall, in appearance, detract from the aesthetic values of the property, shall be so placed and stored to be concealed from view from the public right of way. Trash for collection may be placed at the street line on regular collection days for a period not to exceed eight hours, prior to pick up.

STORAGE  
OF  
MATERIALS

LIVESTOCK

SIGNS

TEMPORARY  
BUILDINGS

TRAILER  
USE

BUILDING  
EXTERIOR

PLUMBING

TEMPORARY  
OFFICES

STORAGE  
OF  
TOOLS  
AND  
TRASH

ZONE R-1 REGULATIONS

- A. **PROPERTY IN ZONE R-1 MAY BE USED FOR:**
1. A single family residence, together with outbuildings customary to such use, located on the same lot or parcel of land, including:
    - a. A private garage with a capacity not to exceed three (3) automobiles.
    - b. A boat repair or storage building for the personal use of the occupant.
    - c. A children's playhouse.
    - d. Lath or greenhouses.
    - e. Tool houses.
    - f. Hobby shops not used commercially.
  2. Churches, temples, or other places used exclusively for religious worship shall be permitted within this zone upon approval of location and development plans by the "Committee of Architecture."
  3. The following auxiliary uses, if they do not alter the character of the premises as single family residences:
    - a. One detached guest house on the same premises as and not less than twenty (20) feet from the main building for the use of temporary guests of the occupants of the premises, if such quarters have no kitchen or kitchen facilities and are not rented or otherwise used as a separate dwelling.
    - b. Fences, walls, or hedges may be erected, started or maintained to a height of 72" above the adjacent grade when used as a property line or boundary separation, except that no fence, wall, or hedge may be used for this purpose in the front setback area of a lot in excess of 42" above the adjacent grade.
- B. **BUILDING SETBACKS:**
1. Front yard setbacks shall conform to a minimum depth of twenty-five (25) feet and a maximum depth of thirty five (35) feet from the front property line to the furthest structural projection, including eaves, overhangs, porches of any building or structure.
  2. A side yard shall be maintained of at least five (5) feet in depth from all side property lines to the building line of any structure, with a minimum clearance of 30" from eaves or other projections to the side property line, EXCEPT on corner lots which shall maintain a minimum setback of ten (10) feet or a maximum thirty-five (35) feet from the side street line. An attached garage, a detached garage or other auxiliary buildings or structures, not intended or used for human habitation, shall be located to provide a minimum 12" clearance from the side property line to eaves or other projections, when the auxiliary building or structure is a minimum of twenty (20) feet to the rear of the front wall of the residence nearest the street if attached, or forty (40) feet to the rear of the residence nearest the street if detached.
  3. A rear yard shall be maintained of at least twelve (12) feet from the property line to the furthest structural projection, excepting fences, walls, and hedges when used as a boundary line separation which shall be ten (10) feet from the rear property line.
- C. **VEHICLE STORAGE:**  
Every dwelling or other structure in Zone R-1 designed for or intended to be used as a dwelling, shall have on the same lot or parcel of land, automobile storage space conveniently accessible from the street and not located at any place where the erection of a structure is prohibited. This space shall be of sufficient capacity so as to not exceed maximum vehicle storage requirements as outlined above.
- D. **SUBDIVISION OF LOTS:**  
No lot or parcel of land shall be divided into smaller lots or parcels under any conditions or circumstances whether for lease, sale, or rental purposes.
- E. **REQUIRED LAND AREA:**  
A person shall not erect, construct, occupy, or use more than one (1) single family residence on any parcel of land or lot.
- F. **BUILDING HEIGHT LIMITATION:**  
All structures shall be of ONE-LEVEL construction unless as otherwise provided for under GENERAL of these restrictions.

ZONE R-2 REGULATIONS.

A. PROPERTY IN ZONE R-2 MAY BE USED FOR:

1. Any use permitted in Zone R-1 except that a private garage may have a capacity of five (5) automobiles.

B. BUILDING SETBACKS:

Front yard, side yard, and rear yard setbacks shall conform to those imposed in Zone R-1.

C. VEHICLE STORAGE:

Vehicle storage shall conform to those requirements imposed in Zone R-1, except that the vehicle capacity shall be sufficient to accommodate one (1) automobile for each family for the permanent housing of which each dwelling or structure on the property is designed.

D. SUBDIVISION OF LOTS:

Subdividing lots or parcels of land into smaller areas shall be prohibited for any purposes or uses, whether for sale, lease, or rent.

E. REQUIRED LAND AREA:

A person shall not erect, construct, occupy or use more than one (1) two-family residence or two (2) one-family residences on any parcel of land or lot.

F. REQUIRED BUILDING AREA:

Notwithstanding other requirements imposed by these restrictions under GENERAL, the "Committee of Architecture" shall in all two-family residences require not less than seven hundred (700) square feet of floor area for each one bedroom unit including carport, garage, covered porches, covered contiguous patios, etc., with a minimum area of five hundred (500) square feet for living area in the dwelling portion of the unit, and shall require not less than eight hundred (800) square feet of floor area for each two bedroom unit including carports, garages, covered porches, covered contiguous patios, etc., with a minimum floor area of six hundred (600) square feet for living area in the dwelling portion of the unit.

G. BUILDING HEIGHT LIMITATIONS:

All structures shall be of ONE-LEVEL construction unless as otherwise provided for under GENERAL of these restrictions.

ZONE R-3 REGULATIONS.

- A. The following regulations shall apply in Zone R-3 Multiple Dwelling Districts:
1. Class I.
    - a. Any use permitted in Zone R-2.
    - b. Multiple dwellings or three (3) one-family dwellings of a permanent nature on each lot.
    - c. Hotels and Motels in which incidental business may be conducted for the convenience of the residents of the buildings.
    - d. Apartment buildings.
  2. Class II.  
The following uses shall be classified under this zoning and shall be permitted if use, location, and development plan is approved by the "Committee of Architecture."
    - a. Trailer Parks.
    - b. Colleges and Universities.
    - c. Private Schools.
- B. BUILDING SETBACKS:
1. Front yard setbacks shall conform to a minimum depth of twenty (20) feet from the front property line, excluding structural projections, eaves, overhangs, and porches of any building or structure.
  2. Side yard setbacks shall conform to those required in Zone R-1, except the maximum setback from a side street shall be reduced to thirty (30) feet.
  3. Rear yard setback shall conform to those as required in Zone R-1.
- C. VEHICLE STORAGE:  
Every dwelling, apartment house, or structure in Zone R-3 designed for or intended to be used as a dwelling or apartment house, shall have on the same lot or parcel of land, automobile storage space conveniently accessible from the street, and not located at any place where the erection of structures is prohibited, of sufficient capacity to accommodate one (1) automobile for each family for the permanent housing of which such dwelling, apartment house, or other structure is designed.
- D. SUBDIVISION OF LOTS:  
No lot or parcel of land shall be divided into smaller lots or parcels under any conditions or circumstances whether for lease, sale, or rental purposes.
- E. REQUIRED BUILDING AREA:  
Notwithstanding other requirements imposed by these restrictions under GENERAL, the "Committee of Architecture" shall in all apartment buildings designed or intended to house three (3) or more families, require not less than five hundred (500) square feet of living area for each one bedroom unit, or not less than six hundred (600) square feet of living area for each two bedroom unit. In all buildings or establishments designed for, intended for, or used as Hotels or Motels, the "Committee of Architecture" shall require that each unit, room, suite, or apartment capable of, designed, or intended to be rented, leased, or let as an individual accommodation shall contain two hundred fifty (250) square feet of living area including bathrooms and/or kitchens where included in the individual accommodation as outlined above. In such instances, where a common or shared bath or kitchen is present, only 50% of the area of such shared facilities can be contributed to the required floor area of two hundred fifty (250) square feet. In such instances where a public bathroom or toilet room or kitchen is present as the only such facilities available, the minimum required livable floor area of each individual accommodation shall contain two hundred (200) square feet.
- F. BUILDING HEIGHT LIMITATIONS:  
All structures shall be of ONE-LEVEL construction unless as otherwise provided for under GENERAL of these Restrictions.

These conditions shall run with the land and shall be binding upon all parties and all persons claiming under them until January 1, 1968, at which time said Conditions and Covenants shall be automatically extended for successive periods of ten (10) years, unless by vote of the owners of a majority of the lots in said Tract, it is agreed to change said Conditions in whole or in part.

PROVIDED, FURTHER, that if any paragraph, section, sentence, clause or phrase of the restrictions, conditions, and covenants herein contained shall be or become illegal, null, or void, for any reason or shall be held by any court of competent jurisdiction to be illegal, null, or void, the remaining paragraphs, sections, sentences, clauses or phrases herein contained shall not be affected thereby. It is hereby declared that these restrictions, conditions, and covenants herein contained would have been and are imposed and each paragraph, section, sentence, clause or phrase thereof, irrespective of the fact that any one or more other paragraphs, sections, sentences clauses or phrases are or shall become or be illegal, null, or void.

PROVIDED FURTHER, that if any owner of any lot in said property or his heirs, or assigns, shall violate or attempt to violate any of the conditions, covenants and/or restrictions herein, it shall be lawful for any other person or persons owning any other lots in said property to prosecute any proceeding at law or in equity against the person or persons violating or attempting to violate any such conditions, covenants, and/or restrictions and either to prevent him or them from so doing or to recover damages or other dues for such violation.

PROVIDED FURTHER, that a breach of any of the foregoing conditions, covenants, and/or restrictions shall not defeat or render invalid the lien of any mortgage, or deed of trust in good faith, and for value, as to said property or any part thereof; but such conditions, covenants, and/or restrictions shall be binding upon and effective against any owner of any lot or lots in said property whose title is acquired by foreclosure, trustee's sale, or otherwise.

IN WITNESS WHEREOF, SALTON RIVIERA, INC., has caused its corporate name and seal to be hereunto affixed by its officers thereunto duly authorized this 18 day of June, 1952.

(Owner) SALTON RIVIERA, INC.

By [Signature]  
President  
By [Signature]  
Asst. Secretary

524 5-66 (Corporation)

STATE OF CALIFORNIA  
COUNTY OF Los Angeles

} SS.

On June 18, 1952  
before me, the undersigned, a Notary Public in and for said County and State, personally appeared H. Fern Phillips  
known to me as the President, and

[Signature] Secretary of the Corporation that executed the within instrument, known to me to be the person who executed the within instrument on behalf of the Corporation therein named, and acknowledged to me that such Corporation executed the within instrument pursuant to its by-laws or a resolution of its board of directors.

WITNESS my hand and official seal.  
(Seal) [Signature]  
Notary Public in and for said County and State  
My Commission Expires July 14, 1953

1952 JUN 18

**Salton Community Services District**  
Architectural Committee Building Approval Form  
Plan# 3167

Chartered by Chapter 59 of 1985 Codes and Laws - state of CA  
Plans must conform to covenants, Conditions and Restrictions of tract.

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

**Architectural Committee Review Fees:**

Existing Building Additions:	\$50.00 _____	Check# _____
New Construction:	\$50.00 <u>X</u> _____	Check# <u>X 3093</u>
Sewer Capacity Fee:	\$1000.00 _____	Check# _____
Sewer Connection Fee:	\$2700.00 _____	Check# _____ (Deposit) _____

(Capacity Fee/Connection Fee Payable at time of sewer connection. Plan Approval fee and Developer fee due at time of plan submission.  
**THIS APPROVAL MEETS ALL SCSD CC&R'S, BUT MAY NOT MEET IMPERIAL COUNTY TITLE 9 LAND ORDINANCES.**  
**We only Accept Checks, cashier's checks, and money orders paid to Salton Community Services District.**

**ARCHITECTURAL PLAN REVIEW:**

Israel Gonzalez: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lizabeth Fowers: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Barbara Quiroz: \_\_\_\_\_ Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Juan Ventura: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_ : \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lot# 9 Block# 34 Tract# 525 Zone: R  
APN: 02-412-023 Lot Size: 10,555 SQFT

**Living Area**

Dimensions: Width: 20.4 Length: 66-0 Total Square Feet: ~~1,738~~ 1,742.4

**Patios**

Dimensions: Width: \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Carport or Garage**

Dimensions: Width \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Room Addition**

Dimensions: Width \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Mobile/Manufactured/Modular Homes Only:**

Date of Manufacture: 2020 Expected Date of Delivery: \_\_\_\_\_

I, the undersigned, certify that all information is a true and accurate description of my plans and intentions.

Dennis C. Neeg \_\_\_\_\_ Salton Sea Estates III, LLC (760) 394-4648  
\_ Owner's Signature \_\_\_\_\_ Owner's Printed Name Daytime Phone Number

2101 S Marina DR Suite #1 Salton City CA 92274  
Address, City, State, Zip Code

A permit must be obtained within 2 years (24 months) from the date of approval. If a permit is not obtained, you will be required to resubmit for approval.

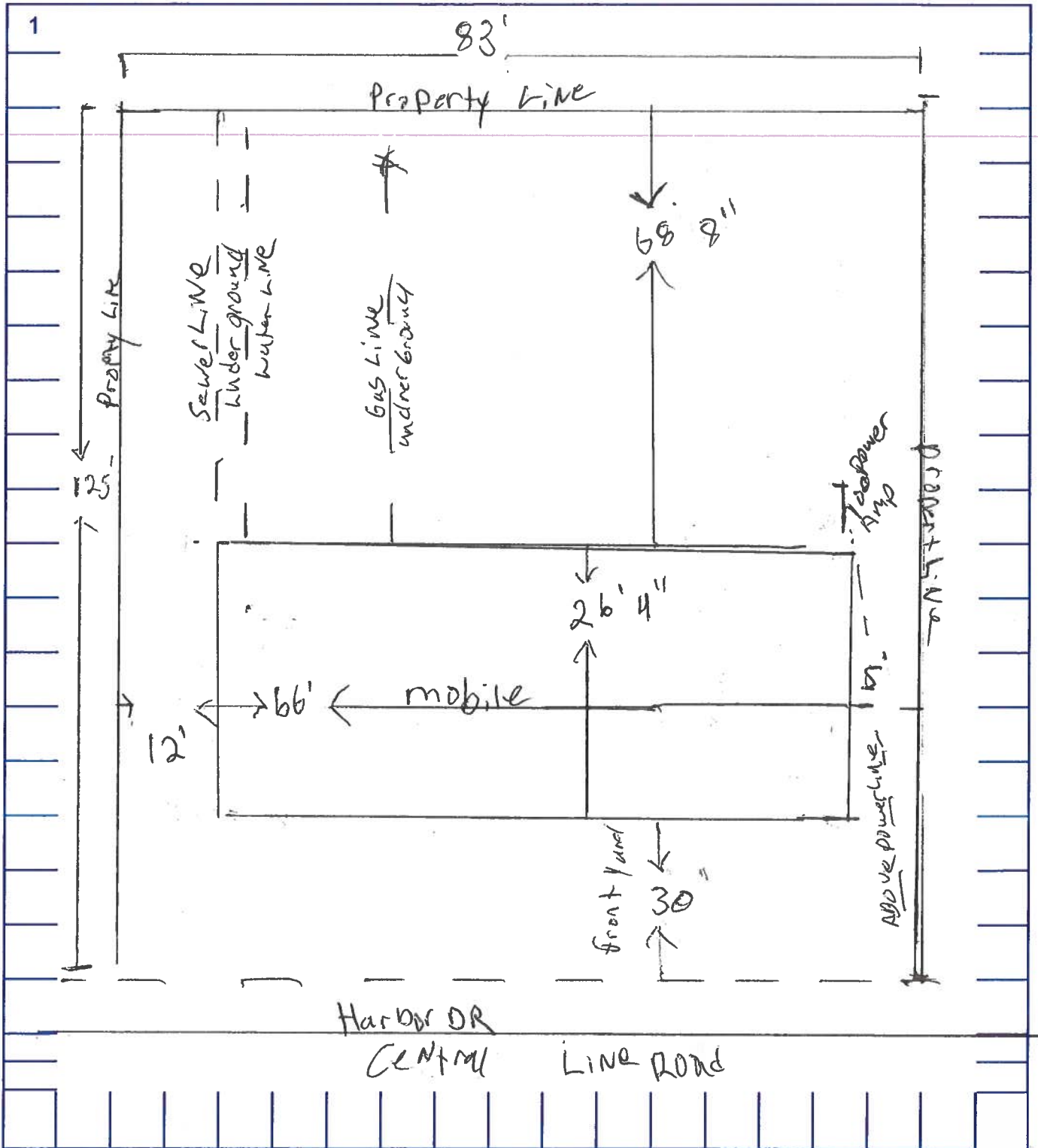
# SITE PLAN

I.C. PLANNING & DEVELOPMENT SERVICES DEPT  
801 Main Street, El Centro, CA 92243 (760) 482-4236

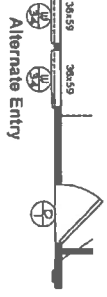
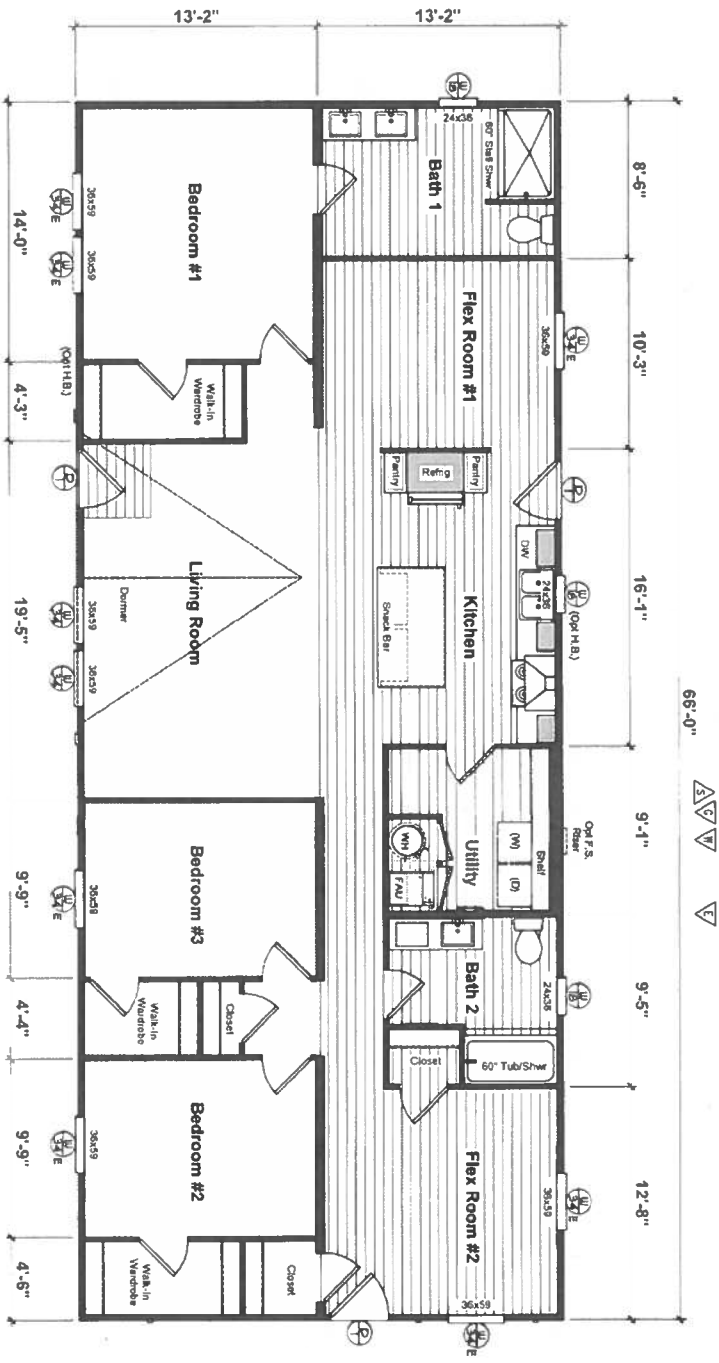
READ INSTRUCTIONS ON THE BACK! USE PEN TO DRAW - DO NOT USE PENCIL!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!



NAME OF APPLICANT 2 <b>Sutton Sea Estates III, LLC</b>	APPLICANT PHONE NO. 3 <b>(760) 394-4648</b>	SIZE OF PARCEL 4 <b>10,555</b>
PROJECT SITE ADDRESS 5 <b>2292 Harbor Dr Thermal CA 92274</b>	ASSESSORS PARCEL NO. 6 <b>012-412-023</b>	



**Tempo**  
 TEM-2866-3A and TMP-2866-3A  
 3 Bedroom, 2 Bath - 1,738 Sq. Ft.

**Rocket Man**  
 Print Date: 08-21-25

<b>CMH Manufacturing</b> West, Inc Partia Division • (951) 687-1611	DRAWING TITLE APPROVAL REF:	S.W. REF:	S.D. REF:	PRODUCT NAME/ITEM NAME/ST:	C. REF:
	ARCHITECTURAL FLOOR PLAN	PROJECT NUMBER	DRAWN BY:	C. REF:	DATE
PRODUCT: TEMPO, ROCKET MAN SQ. FT.: 1,738 SHEET: 1-A-1	DATE: 6-25-23 MTD 11-7-25	DATE: 6-25-23 MTD 11-7-25	DATE: 6-25-23 MTD 11-7-25	DATE: 6-25-23 MTD 11-7-25	DATE: 6-25-23 MTD 11-7-25

# PERMIT APPLICATION

I.C. PLANNING & DEVELOPMENT SERVICES DEPT.  
801 Main Street, El Centro, CA 92243 (760) 482-4236

# MOBILE HOME INSTALLATION

COMPLETE ALL NUMBERED SPACES! PLEASE TYPE OR PRINT! Thank You!!!

1.	PROPERTY OWNERS NAME <i>Salton Sea Estates III, LLC.</i>	EMAIL ADDRESS <i>Yvette@buylandsales.com</i>	
2.	MAILING ADDRESS <i>2101 S. Marina Dr Ste #1 Thermal CA</i>	ZIP CODE <i>92274</i>	PHONE NUMBER <i>(760) 394-4648</i>
3.	PROJECT SITE ADDRESS <i>2292 Harbor Dr</i>	LOCATION <i>Salton City</i>	
4.	ASSESSOR'S PARCEL NO. <i>012-412-023</i>	LEGAL DESCRIPTION <i>Lot 09 Block 34 Tract 525 FM 316</i>	
5.	DESCRIBE INTENDED USE OF BUILDING OR PROJECT <i>New Manufactured Home. Value \$129,000</i>		
6.	NAME OF MANUFACTURE <i>Rocket Man</i>	MODEL TYPE	SERIAL NUMBER <i>2026</i>
7.	CONTRACTORS NAME <i>DCR Construction, Inc.</i>	LICENSE NO. <i>948120</i>	EMAIL ADDRESS <i>dennis@buylandsales.com</i>
8.	MAILING ADDRESS <i>2101 S. Marina Dr. Ste #1 Thermal CA</i>	ZIP CODE <i>92274</i>	PHONE NUMBER <i>(760) 394-4648</i>
9.	ARCHITECT or ENGINEER NAME	LICENSE NO.	EMAIL ADDRESS
10.	MAILING ADDRESS	ZIP CODE	PHONE NUMBER

**WORKERS' COMPENSATION DECLARATION**

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of self-insurance for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number:  
 Policy Number: *WC1055225* Carrier: *Pacific Compensation Insurance Company*

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and Labor Code, I shall forthwith comply with these provision.

11 Date: *4/27/2026* Applicant: *Dennis C. [Signature]*

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

**SITE UTILITY DATA**

Gas Type: LPG  Natural   
 Gas Riser Size *3Q*  
 Gas Riser Material *Aluminum*  
 Sewer Line Size *3INC*  
 Sewer Line Material *ABS*  
 Electrical Service *100* Amps  
 Water Line Size *1INC*  
 Water Line Materials *PVC*  
 Other: \_\_\_\_\_

Existing Utilities: Yes  No   
 Pre-Inspection Appr. Yes  No

**MOBILE HOME DATA**

Width \_\_\_\_\_ Length \_\_\_\_\_  
 Gas Line Size *3QT*  
 Gas Connector Type *IRON PIPE*  
 Sewer Connector Type *3INC*  
 Water Connector Type *3QT*  
 Connector-Cord \_\_\_\_\_  
 Flex Cord \_\_\_\_\_  
 Other \_\_\_\_\_  
 Foundation System Yes  No   
 Eng. Tie Down Sys. Yes  No

12. SIGNATURE OF OWNER *Dennis C. [Signature]* 13. SIGNATURE OF CONTRACTOR *Dennis C. [Signature]*

ELECTRICAL APP. \_\_\_\_\_  
 GAS APP. \_\_\_\_\_  
 FINAL \_\_\_\_\_ EXPIRED \_\_\_\_\_  
 RECEIPT NO. \_\_\_\_\_  
 DATE ISSUED \_\_\_\_\_  
 PERMIT NO. \_\_\_\_\_

**APPROVALS**

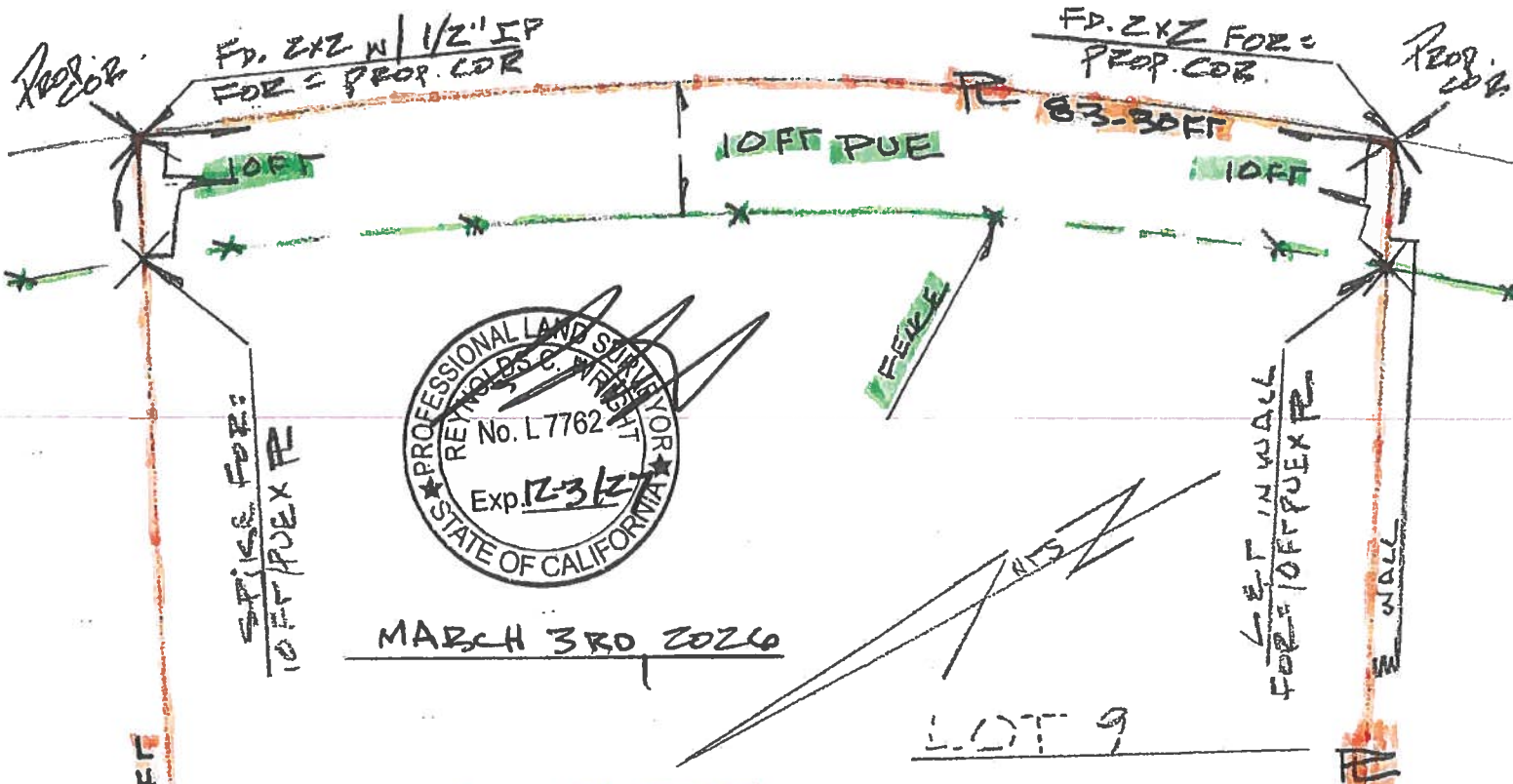
Workers' Comp. Ins.	ZONING	Date
Energy Cert. <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> n/a	EHS (sanitation)	Date
School fee	PUBLIC WORKS	Date
UTILITY PERMIT	FIRE DEPT.	Date
ARCHITECT COMMITTEE	A.P.C.D.	Date

**INSTALLATION PMT**

PLAN CHECK	
SMI	
TRANSPORTATION	
SKIRTING	
ZONING REVIEW	
FIRE MITIGATION	
SHERIFF MITIGATION	
ADMINISTRATION	
OTHER	

APPLICATION ACCEPTED BY \_\_\_\_\_ DATE \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_ DATE \_\_\_\_\_

FEE \$ \_\_\_\_\_



MARCH 3RD 2026

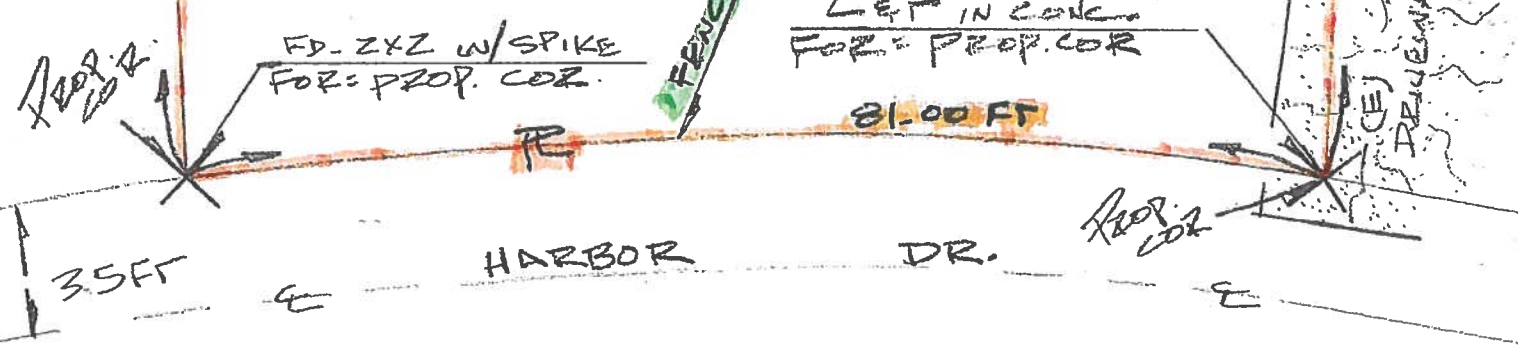
LOT 9

NOTE: THE 10 FT PUBLIC UTILITY EASEMENT (PUE) IS FOUND ON TRACT MAP No 525 FM 3-16

R. CHRIS WRIGHT SURVEY  
MARCH 3RD, 2026  
PHCELL = 760-485-6527  
FOR = APN# 012-412-023-000  
LOT 9 BLK 34 TR. 525 FM 3-16  
AKA: 2292 HARBOR DR.  
SALTON CITY CA 92274

LOT 10

LOT 8



**DECLARATION OF RESTRICTIONS**

**TRACT 525**

THIS DECLARATION, made this \_\_\_\_ day of \_\_\_\_, 195\_ by **Salton Heights Development Company**, a California corporation, having its principal place of business in the City of Azusa, Los Angeles County, California, hereinafter referred to as the Declarant.

WHEREAS the Declarant is the owner of that certain Tract No. **525**, Imperial County, California, as per plat thereof recorded in Book \_\_\_\_, Pages \_\_\_\_, records of said County, and

WHEREAS the Declarant is about to sell, dispose of or convey the lots in said Tract No. **525**, above described, and desires to subject the same to certain protective covenants, conditions, restrictions (hereinafter referred to as "Conditions") between it and the asquirers and/or users of the lots in said Tract.

**NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:**

That Declarant hereby certifies and declares that it has established and does hereby establish general plan for the protection, development and improvement of said Tract, that

THIS DECLARATION is designed for the mutual benefit of the lots in said Tract and Declarant has fixed and does hereby fix the protective conditions upon and subject to which all lots, parcels and portions of said Tract shall be held, leased, or sold, and/or conveyed by them as such owners, each and all of which is and are for the mutual benefit of the lots in said Tract and of each owner thereof, and shall run with the land and shall inure to and pass said Tract and each and every parcel of land therein, and shall apply to and bind the respective successors in interest thereof, and are and each thereof is imposed upon said Tract as a mutual, equitable servitude in favor in favor of each and every parcel of land therein as the dominant tenement or tenements.

**SAID CONDITIONS ARE AS FOLLOWS:**

I. That all of the lots in said tract shall be designated as R-1 and shall be used, occupied and improved as single residence lots under the conditions as hereinafter set forth under Zone R-1 Regulations.

II. **GENERAL:**

No building, fence, patio, or other structure shall be erected, altered, added to, placed, or permitted to remain on said lots or any of them or any part of any such lot until and unless the plans, showing floor areas, external design and the ground location of the intended structure along with a plot plan and a checking fee in the amount of \$5.00 have been first delivered to and approved in writing by any two (2) members of a "Committee of Architecture" which shall be initially composed of C. W. Burmood, George McCarthy and August Damon, provided that any vacancy on such committee caused by death, resignation, or disability to serve shall be filled on the nomination of **Salton Riviera**, In It shall be the purpose of this committee to provide for the maintenance of a high standard of architecture and construction in such a manner as to enhance the aesthetic properties of the developed subdivision. Notwithstanding other requirements imposed, this committee shall require not less than twelve hundred (1,200) square feet of floor area for any single family residence INCLUDING carport, garage, covered porches, covered contiguous patios, etc., with a minimum floor area of eight hundred (800) square feet for living area in the dwelling portion of the structure.

COMMITTEE  
OF  
ARCHITECTURE

It shall remain the prerogative and in the jurisdiction of the "Committee of Architecture" to review application and grant approvals for exceptions to this declaration. Variations from requirements and, in general, other form of deviation from those restrictions imposed by this declaration, when such exception, variances and deviations do, in no way, detract from the appearance of the premises, nor in any way be detrimental to the public welfare or to the property of other persons located in the vicinity thereof, in the sole opinion of the Committee.

~~All buildings shall have a septic tank and leeching pit or pits, as may be required, installed in the rear yard, per specifications attached hereto and made a part hereof. In the event additional pits are found necessary to properly disperse the fluids and a greater area shall be taken in the front yard and properly connected to that in rear. In the event a lot is used for a multiple unit dwelling, each unit shall be served by a separate septic tank and leeching pit or pits. The responsibility for determining the need for additional pits shall be vested in the Desert Shores Community Services District. The community services District is vested with the responsibility and authority for the enforcement of these provisions.~~

Under California Health and Safety Code (Section 5000) and California Government Code (Section 54300), all buildings shall connect with wastewater collection system where available. When wastewater collection system is unavailable, a leeching septic tank system may be until such time as the wastewater collection system becomes available at which time connection will be mandatory.

SEWAGE  
DISPOSAL

III. RESIDENTIAL ZONE

As used in this declaration, "Residential Zones" means zones R-1, R-2, and R-3.

A person shall not use any premises in any residential zone, which is designed, arranged or intended to be occupied or used for any purpose, other than expressly permitted in this declaration.

In any building project, during construction and sixty (60) days thereafter, property in a residential zone may be used for the storage of materials used in the construction of the individual buildings in project and for the contractor's temporary office. Said construction period shall not exceed ninety (90) days, unless specifically approved by the Committee of Architecture.

STORAGE  
OF  
MATERIALS

LIVESTOCK

A person shall not keep or maintain any live pig or hog or livestock or goats, cows or fowl of any age in any residential zone, whether such animals are kept or maintained for the personal use of the occupants or otherwise.

SIGNS

No person shall cause to be erected a sign, advertisement billboard or advertising structure of any kind of any of the unimproved residential lots, except that a temporary permit, limited to a ninety-day period, for signs for houses to be sold or exhibited be first obtained by application to the architectural committee. The architectural committee may approve the location of these signs within the front set-back of the lot.

TEMPORARY  
BUILDINGS

No temporary buildings, basement, cellar, shack garage, barn or other outbuilding or structure shall, at any time, be used for human habitation, temporarily or permanently.

TRAILER  
USE

A trailer may be used as a residence of the owner and his family during construction by such owner of a permanent residence, but only after approval has been gained from the architectural committee for such residence, but in no event shall said trailer be used longer than ninety days.

BUILDING  
EXTERIOR

The exterior portions of all buildings, which are constructed of wood, stucco or cement shall be painted or stained immediately upon completion of shall have color mixed in the final structural application.

PLUMBING

Residences shall have complete and approved plumbing installations before occupancy.

TEMPORARY  
OFFICES

A temporary Real Estate tract office, for the purpose of conducting the sale of property in the sub-division, upon which such office is located, for a period not to exceed one year, provided such tract office is not used for conducting a general real estate business. Any structure, used for such purpose, shall, at the end of such one year period, be either removed or sued for a purpose permitted in the zone in which it is located.

STORAGE  
OF  
TOOLS  
AND  
TRASH

The storage of tools, landscaping instruments, household effects, machinery or machinery parts, empty or filled containers, boxes, or bags, trash, materials or other miscellaneous items that shall, in appearance, detract from the aesthetic values of the property, shall be so placed and stored to be concealed from view from the public right of way. Trash for collection may be placed at the street line on regular collection days for a period, not to exceed eighteen hours, prior to pick up.

## ZONE R-1 REGULATIONS

### I. PROPERTY IN ZONE R-1 MAY BE USED FOR:

R-1  
USES

A single family residence, together with outbuildings customary to such use, located on the same lot of parcel of land, including:

- A private garage with a capacity not to exceed three (3) automobiles.
- A boat repair or storage building for the personal use of the occupant.
- A children's playhouse.
- Lath or greenhouses.
- Tool houses.
- Hobby shops not used commercially.

The following auxiliary uses, if they do not alter the character of the premises as single family residences:

AUXILIARY  
USES

One detached guest house on the same premises as, and not less than twenty (20) feet from the main building, for the use of temporary guests of the occupants of the premises, if such quarters have no kitchen or kitchen facilities and are not rented or otherwise used as a separate dwelling.

FENCES

Fences, walls or hedges may be erected, started or maintained to a height of 72" above the adjacent grade, when used as a property line or boundary separation, except that no

fence, wall or hedge may be used for this purpose in the front setback area of a lot in excess of 42" above the adjacent grade.

II. BUILDING SETBACKS:

*IMPERIAL COUNTY TITLE 9 REGULATIONS MAY BE USED INSTEAD*

FRONT  
SETBACK

Front yard setbacks shall conform to a minimum depth of twenty-five (25) feet and a maximum depth of thirty five (35) feet from the front property line to the furthest structural projection, including eaves, overhangs, porches of any building of structure.

SIDE YARD  
SETBACK

Side yard setbacks. A side yard shall be maintained of at least five (5) feet in depth from all side property lines to the building line of any structure, with a minimum clearance of 30" from eaves or other projections to the side property line, except that on corner lots a setback, equal to the narrowest width of the lot facing a street, shall be maintained from any portion of the furthest structural projection to the property line facing and parallel to the street adjacent to the longest side of the lot. In no case shall this required setback equal less than ten (10) feet nor more than thirty-five (35) feet. An attached garage, a detached garage or other auxiliary buildings or structures, not intended or used for human habitation, shall be located to provide a minimum 12" clearance from the side property line to eaves or other projections, when the auxiliary building or structure is a minimum of twenty (20) feet to the rear of the front wall of the residence nearest the street if attached, or forty (40) feet to the rear of the residence nearest the street, if detached.

REAR  
SETBACK

Rear yard setback. A rear yard shall be maintained of at least twelve (12) feet from property line to furthest structural projection, excepting fences, walls and hedges when used as a boundary line separation, which shall be ten (10) feet from the rear property line.

III. VEHICLE STORAGE:

VEHICLE  
STORAGE

Every dwelling or other structure in Zone R-1, designed for or intended to be used as a dwelling, shall have on the same lot or parcel of land automobile storage space conveniently accessible from the and not located at any place where the erection of a structure is prohibited. This space shall be of sufficient capacity so as to not exceed maximum vehicle storage requirements as outlined above.

IV. SUBDIVISION OF LOTS:

LOT  
SPLIT

No lot or parcel of land shall be divided into smaller lots or parcels under any conditions or circumstances, whether for lease, sale, or rental purposes.

I. REQUIRED LAND AREA:

REQUIRED  
LAND  
AREA

A person shall not erect, construct, occupy or use more than one single family residence on any parcel of land or lot, except that the parcel of land or lot shall contain a minimum of ten thousand (10,000) square feet of area for each residence.

**AMENDMENT TO DECLARATION OF RESTRICTIONS: (Continued)**

**ZONE R-2 REGULATIONS:**

1. **PROPERTY IN ZONE R-2 MAY BE USED FOR:**

- A. Any use permitted in Zone R-1, except that a private garage may have a capacity of five (5) automobiles.
- B. A two-family residence, not over two stories in height, together with the outbuildings customary to such uses located on the same lot or parcel of land.

2. **BUILDING SETBACKS:**

- A. Front yard, side yard and rear yard setbacks shall conform to those imposed in Zone R-1.

3. **VEHICLE STORAGE:**

- A. Vehicle storage shall conform to those requirements imposed in Zone R-1, except that the vehicle capacity shall be sufficient to accommodate one automobile for each family for the permanent housing of which each dwelling of structure on the property is designed.

4. **SUBDIVISION OF LOTS:**

Subdividing lots or parcels of land into smaller areas shall be prohibited for any purposes uses, whether for sale, lease or rent.

5. **REQUIRED LAND AREA:**

A person shall not erect, construct, occupy or use more than one two-family residence on any parcel of land or lot, except that the parcel of land or lot shall contain a minimum of ten thousand (10,000) square feet of area for each single family residence.

6. **REQUIRED BUILDING AREA:**

Notwithstanding other requirements imposed by these restrictions 1-A, the Committee of Architecture shall, in two-family residences, require not less than five hundred (500) square feet of living area for each one bedroom unit, or not less than six hundred (600) square feet of living area for each two bedroom unit, in addition to a minimum floor area of four hundred (400) square feet of attached garage, attached carport, covered porches, covered contiguous patios, etc.

**AMENDMENT TO DECLARATION OF RESTRICTIONS**

**TRACT NO. 525**

THIS AMENDMENT, made by SALTON HEIGHTS DEVELOPMENT CO., a California Corporation, having its principal place of business in the city of Azusa, County of Los Angeles, California, hereinafter referred to as the Declarants,

WHEREAS, the Declarants are the owners of all the lots in that certain tract SALTON HEIGHTS DEVELOPMENT CO., Imperial County, California, as per map recorded in Book 3 at Page 1 of final maps, records of said County, and,

WHEREAS, SALTON HEIGHTS DEVELOPMENT CO., is the Declaration of Restrictions recorded May 6, 1958, in Book 991, Page 167, in Official Records of said County and desires to amend Paragraph I of said Restrictions to read as follows:

- I. Use of Lot 1 of Block 1 and Lot 21 of Block 18 shall be restricted to use for school purposes.
  - A. That Lots 1 through 18, inclusive of Block 12, and Lots 15 through 25, inclusive of Block 4, shall be designated as R-2 multiple residence lots and shall be used, occupied and improved for multiple residence purposes under ZONE R-2 REGULATIONS, which shall be attached to and become part of this amendment.
  - B. That all remaining lots within said tract shall be designated as R-1 and shall be used, occupied, and improved as single residence lots under the conditions as hereinafter set forth under ZONE R-1 REGULATIONS.

That all other terms and conditions in said original Declaration of Restrictions shall remain unchanged.

IN WITNESS WHEREOF, SALTON HEIGHTS DEVELOPMENT CO., has caused its corporate name and seal to be hereunto affixed by its Officers thereunto duly authorized this 13<sup>th</sup> day of June, 1958.

SALTON HEIGHTS DEVELOPMENT CO.

By \_\_\_\_\_

By \_\_\_\_\_

These conditions shall run with the land and shall be binding upon all parties and all persons claiming under them until January 1, 1968, at which time said Conditions and Covenants shall be automatically extended for successive periods of ten (10) years, unless by vote of the owners of a majority of the lots in said Tract, it is agreed to change said Conditions in whole or in part.

PROVIDED, FURTHER, that if any paragraph, section, sentence, clause or phrase of the restrictions, conditions, and covenants herein contained shall be or become illegal, null, or void, for any reason or shall be held by any court of competent jurisdiction to be illegal, null or void, the remaining paragraphs, sections, sentences, clauses or phrases herein contained shall not be affected thereby. It is hereby declared that these restrictions, conditions, and covenants, and covenants herein contained would have been and are imposed and each paragraph, section, sentence, clause or phrase thereof, irrespective of the fact that any one or more other paragraphs, sections, sentences, clauses or phrases, are or shall become or be illegal, null or void.

PROVIDED FURTHER, that if any owner of any lot in said property, or his heirs, or assigns, shall violate or attempt to violate any of the conditions, covenants and/or restrictions herein, it shall be lawful for any other person or persons owning any other lots in said property to prosecute any proceeding at law or in equity against the person or persons violating or attempting to violate any such conditions, covenants, and/or restrictions and either to prevent him or them from so doing or to recover damages or other dues for such violation.

PROVIDED FURTHER that a breach of any of the foregoing conditions, covenants, and/or restrictions shall not defeat or render invalid the lien of any mortgage, or deed of trust in good faith, and for value, as to said property or any part thereof, but such conditions, covenants, and/or restrictions shall be binding upon and effective against any owner of any lot or lots in said property whose title is acquired by foreclosure, trustee's sale, or otherwise.

IN WITNESS WHEREOF, SALTON HEIGHTS DEVELOPMENT CO. has caused its corporate name and seal to be hereunto affixed by its officers thereunto duly authorized this \_\_\_\_ day of \_\_\_\_, 195\_\_.

(owner) SALTON HEIGHTS DEVELOPMENT CO.

By \_\_\_\_\_

By \_\_\_\_\_

LOS ANGELES OFFICE  
Room 8003 State Building  
107 South Broadway  
SAN DIEGO OFFICE  
615 Orpheum Theatre Building

EDMUND G. BROWN, Governor  
STATE OF CALIFORNIA  
**Division of Real Estate**  
W. A. SAVAGE, Commissioner  
MAIN OFFICE  
1015 L Street, Sacramento 14

SAN FRANCISCO OFFICE  
Room 2033, 350 McAllister Street  
OAKLAND OFFICE  
Room 6040, 1111 Jackson Street  
FRESNO OFFICE  
Room 3084, State Building  
2350 Mariposa Street

~~THIRD AMENDED~~  
**FINAL  
SUBDIVISION PUBLIC REPORT**

ON  
TRACT NO. 525  
IMPERIAL COUNTY, CALIFORNIA  
RES. NO. 1983-SD

Note—Read This Report Before Buying!

**This Report Is Not an Approval or Disapproval of This Subdivision**

It reflects information obtained by the Division of Real Estate in its investigation of said tract.

The Commissioner does not regulate or govern the size of parcels, drainage, sanitation, water, and the physical aspects of subdivisions. All such matters are regulated and passed on by the local public bodies and officials.

OCTOBER 25, 1961

SPECIAL NOTES

1. THIS IS A SPECULATIVE SUBDIVISION AND VALUES WILL DEPEND ON GROWTH IN THE AREA. PROMOTION COSTS OF SUCH SUBDIVISIONS ARE ORDINARILY HIGH. AS A RESULT, PURCHASERS SHOULD NOT EXPECT TO BE ABLE TO RESELL THEIR LOTS AT A PROFIT OR EVEN FOR AS MUCH AS THE ORIGINAL SALES PRICES UNTIL OR UNLESS THE AREA DOES DEVELOP.
2. MOST REGULATED FINANCIAL INSTITUTIONS WILL NOT LEND MONEY FOR CONSTRUCTION IN SUCH UNDEVELOPED AREAS.
3. CONTRACTS OF SALE WILL BE USED. UNLESS THE SELLER'S SIGNATURE IS NOTARIZED, THE CONTRACT CANNOT BE RECORDED AND THE PURCHASER'S INTEREST MAY BE JEOPARDIZED.  
  
PURCHASERS' INTERESTS ARE FURTHER JEOPARDIZED IN THE CONTRACTS USED IN THIS SUBDIVISION DUE TO A PROVISION THAT THE ENTIRE UNPAID BALANCE MAY BE DUE IF THE CONTRACT IS RECORDED.
4. IN MANY INSTANCES MINERAL, OIL, GAS AND WATER RIGHTS ARE RESERVED TOGETHER WITH THE RIGHT OF ENTRY TO PROSPECT FOR AND REMOVE THESE PRODUCTS.
5. ON ALL PROPERTIES BELOW THE MINUS 220-FOOT CONTOUR, FLOODING EASEMENTS IN FAVOR OF THE IMPERIAL IRRIGATION DISTRICT AND IMPERIAL COUNTY EITHER EXIST OR WILL BE REQUIRED BEFORE THE COUNTY WILL ISSUE BUILDING PERMITS.
6. NO SEWAGE DISPOSAL PLANT OR A COMPLETE SEWAGE DISPOSAL SYSTEM THROUGHOUT THESE TRACTS HAS BEEN INSTALLED.
7. ELECTRICITY AND TELEPHONE LINES HAVE BEEN BROUGHT INTO THE AREA BUT THESE SERVICES ARE NOT EXTENDED THROUGHOUT THE TRACTS. EXTENSIONS MAY BE MADE AT PURCHASERS EXPENSE. NO PUBLIC GAS LINES TO THE AREA ARE AVAILABLE.

ADDITIONAL INFORMATION FOLLOWS IN NARRATIVE FORM:

SUBDIVIDER: Salton Heights Development Co., a California corporation.

LOCATION AND SIZE: In Imperial County, on the west side of Salton Sea, between Salton Sea and Highway 99. It is approximately 30 miles southeast of Indio. Approximately 485 acres divided into 1,108 parcels.

STREETS: Streets are to be improved to Imperial County standards and will be maintained by Imperial County.

CLIMATE: This area, as in other California desert areas, is subject to occasional strong winds. In the summer it gets very hot and the nearness to the Salton Sea and irrigated area of Imperial Valley makes Salton City very humid in extreme hot weather.

WATER: The Coachella Valley County Water District has agreed to furnish water to each lot in this tract. This county water district may levy taxes to finance projects to install and maintain water system within the district.

PURCHASE MONEY HANDLING: The subdivider has certified that all moneys will be impounded in Trust Account, Bank of America, Azusa branch, until the contracts of sale are signed and delivered to the purchaser. There are trust deeds in the amounts of \$193,264 and \$304,700 covering all the lots in this subdivision. However, arrangements have been made to release any lot upon full payment of the contract price by a purchaser.

CONTRACTS OF SALE: In addition to the Special Notes on Contracts on page 1, the contracts used require written consent of the seller to transfer the contract, and a provision that all money paid in and all rights are forfeited by the buyer if he does not comply with the terms of the contract.

ELECTRICITY: Is not installed to all lots at this time.

GAS: No public gas lines are available.

TELEPHONE: Telephone service is not installed at this time.

NOTE: Considerable expense may be involved to extend any of the above utilities to lots within this subdivision.

SEWAGE DISPOSAL: Soil conditions are not favorable for septic tanks and cesspools except on a temporary basis. This form of sewage disposal may not function properly as the area develops. Contracts have been entered into providing for the payment of certain monies by the subdividers to the Community Services District for the eventual installation of a community sewer system. The Division of Real Estate does not have the engineering personnel to determine the requirements of such a system or the costs involved. There is no assurance as to when or if each and every lot in this subdivision will receive the services of a sewage system.

FIRE PROTECTION: The Salton Community Services District has agreed to furnish fire protection. A volunteer fire department has been organized and the subdivider has agreed to install some fire hydrants.

MISCELLANEOUS: It is approximately:

30 miles to the high school;  
15 miles to the grammar school;  
30 miles to Indio for complete shopping facilities.

School bus service is available to both schools.

Note: Purchasers should contact the local school board regarding school facilities and bus service.

FD:ab

**Salton Community Services District**  
Architectural Committee Building Approval Form  
Plan# 3168

Chartered by Chapter 59 of 1985 Codes and Laws - state of CA  
Plans must conform to covenants, Conditions and Restrictions of tract.

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_ Expiration Date: \_\_\_\_\_

**Architectural Committee Review Fees:**

Existing Building Additions:	\$50.00 _____	Check# _____
New Construction:	\$50.00 _____	Check# <u>X 51454917088</u>
Sewer Capacity Fee:	\$1000.00 _____	Check# _____
Sewer Connection Fee:	\$2700.00 _____	Check# _____ (Deposit) _____

(Capacity Fee/Connection Fee Payable at time of sewer connection Plan Approval fee and Developer fee due at time of plan submission.  
**THIS APPROVAL MEETS ALL SCSD CC&R'S, BUT MAY NOT MEET IMPERIAL COUNTY TITLE 9 LAND ORDINANCES.**  
**We only Accept Checks, cashier's checks, and money orders paid to Salton Community Services District.**

**ARCHITECTURAL PLAN REVIEW:**

Israel Gonzalez: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lizabeth Fowers: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Barbara Quiroz: \_\_\_\_\_ Approval: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Juan Ventura: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

\_\_\_\_\_: \_\_\_\_\_ Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_ Date: \_\_\_\_\_

Lot# 3 Block# 31 Tract# 767 Zone: R-1

APN: 008713003000 Lot Size: 9,149 sqft

**Living Area**

Dimensions: Width: \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Patios**

Dimensions: Width: \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Carport or Garage**

Dimensions: Width \_\_\_\_\_ Length: \_\_\_\_\_ Total Square Feet: \_\_\_\_\_

**Room Addition**

Dimensions: Width 20 Length: 24'11" Total Square Feet: 499

**Mobile/Manufactured/Modular Homes Only:**

Date of Manufacture: \_\_\_\_\_ Expected Date of Delivery: \_\_\_\_\_

I, the undersigned, certify that all information is a true and accurate description of my plans and intentions.

Miguel Hernandez  
\_\_\_\_\_  
Owner's Signature

(760) 609-9366  
\_\_\_\_\_  
Owner's Printed Name Daytime Phone Number

1257 Nile Dr Thermal Ca 92274  
\_\_\_\_\_  
Address, City, State, Zip Code

A permit must be obtained within 2 years (24 months) from the date of approval. If a permit is not obtained, you will be required to resubmit for approval.

# PERMIT APPLICATION

I.C. PLANNING & DEVELOPMENT SERVICES DEPT  
801 Main Street, El Centro, CA 92243 (442) 265-1736

- |                                     |                                     |  |  |
|-------------------------------------|-------------------------------------|--|--|
| <input type="checkbox"/> BUILDING   | <input type="checkbox"/> DEMOLITION | <input type="checkbox"/> NEW RESIDENTIAL | <input type="checkbox"/> REMODEL RESIDENTIAL |
| <input type="checkbox"/> ELECTRICAL | <input type="checkbox"/> GRADING    | <input type="checkbox"/> NEW COMMERCIAL  | <input type="checkbox"/> REMODEL COMMERCIAL  |
| <input type="checkbox"/> MECHANICAL | <input type="checkbox"/> POOL       | <input type="checkbox"/> NEW INDUSTRIAL  | <input type="checkbox"/> REMODEL INDUSTRIAL  |
| <input type="checkbox"/> PLUMBING   | <input type="checkbox"/> SIGN       |  |  |

COMPLETE ALL NUMBERED SPACES! PLEASE TYPE OR PRINT! READ INSTRUCTIONS ON THE BACK!

1.	PROPERTY OWNERS NAME Miguel Hernandez & Araceli Ortiz	EMAIL ADDRESS araceli0141239@yahoo.com	
2.	MAILING ADDRESS 1257 Nile DR Thermal CA	ZIP CODE 92274	PHONE NUMBER 760 609 9366
3.	PROJECT SITE ADDRESS 1257 Nile DR Thermal CA	LOCATION Thermal CA 92274	
4.	ASSESSOR'S PARCEL NO.	LEGAL DESCRIPTION	
5.	DESCRIBE INTENDED USE ADU		
6.	DESCRIBE (CLEARLY) THE PROPOSED WORK		
7.	ARCHITECT / ENGINEER N/A	LICENSE NO.	EMAIL ADDRESS
8.	MAILING ADDRESS	ZIP CODE	PHONE NUMBER
9.	CONTRACTORS NAME N/A	LICENSE NO. N/A	EMAIL ADDRESS
10.	MAILING ADDRESS	ZIP CODE	PHONE NUMBER

### WORKERS' COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

I have and will maintain a certificate of self-insurance for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work which this permit is issued.

I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number:

Policy Number: \_\_\_\_\_

Carrier: \_\_\_\_\_

I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and Labor Code, I shall forthwith comply with these provision.

11. Date: \_\_\_\_\_ Applicant: \_\_\_\_\_

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

### VALUATION

ZONE AREA

OCCUPANCY GROUP

CONSTRUCTION TYPE

12. SIGNATURE OF OWNER

13. SIGNATURE OF CONTRACTOR

### DATA

ELECTRICAL APPROVAL

GAS APPROVAL

FINALED EXPIRED

RECEIPT NO.

DATE ISSUED

### APPROVALS REQUIRED

WORKERS' COMPENSATION

PUBLIC WORKS

DATE

SCHOOL FEES

ENS

DATE

ARCHITECT COMMITTEE

FIRE / OES

DATE

REJECTED

RESUBMITTED

APCD / AG

DATE

SPECIAL LAND USE PERMIT

PLANNING

DATE

SMI

BUILDING PERMIT

PLAN CHECK

ELECTRICAL PERMIT

PLUMBING PERMIT

MECHANICAL PERMIT

GENERAL PLAN

ZONE REVIEW

LEGAL SERVICE

ADMINISTRATIVE

FIRE MITIGATION

ADDITIONAL

SHERIFF MITIGATION

OTHER

PERMIT NUMBER

RECEIVED BY

DATE

APPROVED BY

DATE

FEE \$

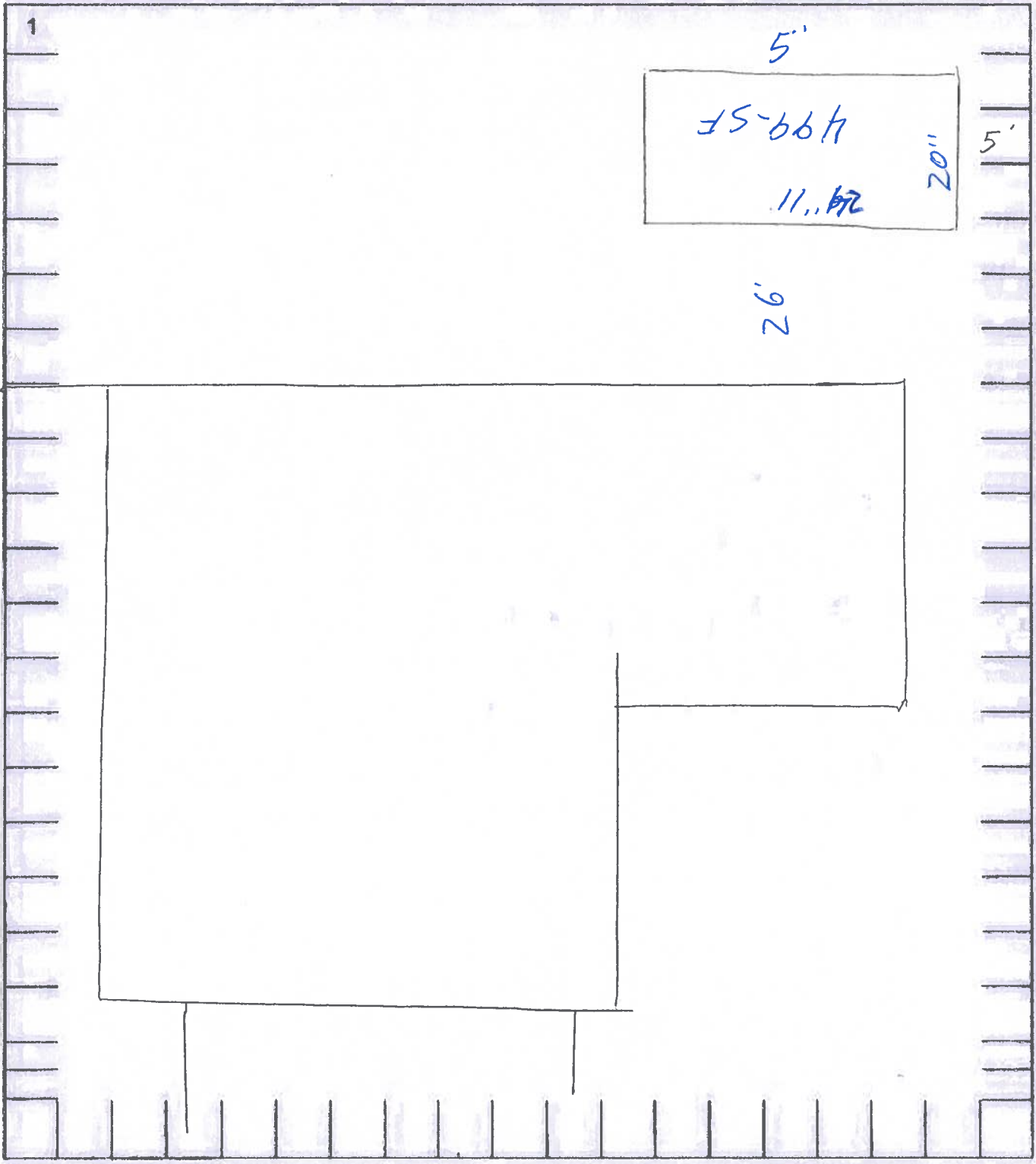
# SITE PLAN

I.C. PLANNING & DEVELOPMENT SERVICES DEPT  
801 Main Street, El Centro, CA 92243 (760) 482-4236

READ INSTRUCTIONS ON THE BACK! USE PEN TO DRAW - DO NOT USE PENCIL!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!

DRAW SITE LAYOUT PLAN TO SCALE & COMPLETE ALL NUMBERED SPACES!



1	NAME OF APPLICANT <i>Araceli ortiz</i>	APPLICANT PHONE NO.	SIZE OF PARCEL
2	<i>miguel Hernandez</i>	3 <i>760 6099366</i>	4 <i>9,148 sq ft</i>
PROJECT SITE ADDRESS		ASSESSORS PARCEL NO.	
5 <i>1257 Nile Dr. Thermal Ca 92274</i>		6 <i>008-713-003-000</i>	

WHITE - OFFICE MASTER / YELLOW - ASSESSORS / PINK - APPLICANT

RECORDING REQUESTED BY  
Title Insurance and Trust Company

61  
JOHN W. LINNERSON

DECLARATION OF RESTRICTIONS  
TRACT NO. 766, COUNTY OF IMPERIAL

THIS DECLARATION, made this 25th day of October, 1966, by GRAYCO LAND ESCROW, LTD., a Corporation Trustee, having its principal place of business in the City of Pasadena, Los Angeles County, California, hereinafter referred to as the Declarant.

WHEREAS, the Declarant is the owner of that certain Tract No. 766, Imperial County, California, as per plat thereof recorded in Book 11, Pages 10, Plat Maps, Records of said County, and

WHEREAS, the Declarant is about to sell, dispose of, or convey the lots in said Tract No. 766, above described, and desires to subject the same to certain protective covenants, conditions, restrictions (hereinafter referred to as "Conditions") between it and the acquirers and/or users of the lots in said Tract.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS: That Declarant hereby certifies and declares that it has established and does hereby establish general plan for the protection, maintenance, development, and improvement of said Tract, that

THIS DECLARATION is designed for the mutual benefit of the lots in said Tract and Declarant has fixed and does hereby fix the protective conditions upon and subject to which all lots, parcels and portions of said Tract shall be held, leased, or sold, and/or conveyed by them as such owners, each and all of which is and are for the mutual benefit of the lots in said Tract and of each owner thereof, and shall run with the land and shall inure to and pass said Tract and each and every parcel of land therein, and shall apply to and bind the respective successors in interest thereof, and are and each thereof is imposed upon said Tract as a mutual equitable servitude in favor of each and every parcel of land therein as the dominant tenement or tenements.

SAID CONDITIONS ARE AS FOLLOWS:

I. GENERAL.

That all lots shall be designated as single family residence lots and shall be improved, used, and occupied under the conditions set forth under Zone R-1 Regulations.

In the event that any of the provisions of this Declaration conflict with any of the sections of Ordinance No. 219, County of Imperial, the more restrictive of the two shall govern.

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In the event that any of the provisions of this Declaration conflict with any of the Sections of Ordinance No. 249, County of Imperial, the more restrictive of the two shall govern.

II. COMMITTEE OF ARCHITECTURE

- A. No building, fence, patio, or other structure shall be erected, altered, added to, placed, or permitted to remain on said lots or any of them or any part of any such lot until and unless the plans showing floor areas, external design, and the ground location of the intended structure along with a plot plan and a checking fee in the amount of five dollars (\$5.00) have first been delivered to and approved in writing by any two (2) members of a "Committee of Architecture" which shall initially be composed of Joe D. Brown, Daniel Weber, and Robert Calhoun, provided that any vacancy on such committee caused by death, resignation, or disability to serve shall be filled on the nomination of GRAYCO LAND ESCROW, LTD. It shall be the purpose of this committee to provide for the maintenance of a high standard of architecture and construction in such manner as to enhance the aesthetic properties of the developed subdivision. Notwithstanding other requirements imposed, this committee shall require not less than twelve hundred square feet (1,200) of floor area for any single family residence INCLUDING carport, garage, covered porches, covered contiguous patios, etc., with a minimum floor area of eight hundred (800) square feet for living area in the dwelling portion of the structure. All structures shall basically be of ONE LEVEL construction and no two-story structure shall be permitted unless, in the opinion of the "Committee of Architecture" such a structure conforms to the over-all design and pattern of development. On commercial structures submitted for approval, this "Committee" may require changes, deletions, or revisions in order that the architectural and general appearance of all such commercial buildings and grounds be in keeping with the architecture of the neighborhood and such as not to be detrimental to the public health, safety, general welfare, and architectural appearance affecting the property values of the community in which such use or uses are to be located. All structures shall conform to the requirements of the Uniform Building Code, Uniform Plumbing Code, and the National Electric Code, current editions.

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AUXILIARY USES

2. Churches, temples, or other places used exclusively for religious worship shall be permitted within this zone upon approval of location and development plans by the "Committee of Architecture", and also upon the granting of a conditional use permit by the County Planning Commission.

3. The following auxiliary uses, if they do not alter the character of the premises as single family residences:

a. One detached guest house on the same premises as and not less than twenty (20) feet from the Main Building for the use of temporary guests of the occupants of the premises, if such quarters have no kitchen or kitchen facilities and are not rented or otherwise used as a separate dwelling.

FENCES

b. Fences, walls, or hedges may be erected, started, or maintained to a height of 7' above the adjacent grade when used as a property line or boundary separation, except that no fence, wall, or hedge may be used for this purpose in the front set-back area of a lot in excess of 4' above the adjacent grade.

B. BUILDING SETBACKS:

FRONT YARD SETBACK

1. Front yard setbacks shall conform to a minimum depth of twenty-five feet (25') and a maximum depth of thirty-five feet (35') from the front property line to the furthest structural projection, including eaves, overhangs, porches, or any building or structure.

SIDE YARD SETBACK

2. A side yard shall be maintained of at least five feet (5') in depth from all side property lines to the building line of any structure, with a minimum clearance of thirty inches (30") from eaves or other projections to the side property line. EXCEPT on corner lots which shall maintain a minimum setback of twelve feet (12') or a maximum thirty-five feet (35') from the side street line. An attached garage, a detached garage, or other auxiliary buildings or structures, not intended or used for human habitation, shall be located to provide a minimum of twelve inches (12") clearance from the side property line to eaves or other projections, when the auxiliary building or structure is a minimum of twenty feet (20') to the rear of the front wall of the residence nearest the street if attached, or forty feet (40') to the rear of the residence nearest the street, if detached.

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TRAILER  
USE

G. A trailer may be used as a residence of the owner and his family during construction by such owner of a permanent residence, but only after approval has been gained from the architectural committee for such residence, but in no event shall said trailer be used longer than ninety (90) days.

BUILDING  
EXTERIOR

H. The exterior portions of all buildings, which are constructed of wood, stucco, or cement shall be painted or stained immediately upon completion or shall have color mixed in the final structural application.

PLUMBING

L. Residences shall have complete and approved plumbing installations before occupancy. Such plumbing shall conform to the requirements of the Uniform Plumbing Code, current edition.

TEMPORARY  
OFFICES

J. A temporary Real Estate Tract Office, for the purpose of conducting the sale of property in the subdivision, upon which such office is located, for a period not to exceed one (1) year, provided such tract office is not used for conducting a general real estate business. Any structure, used for such purpose, shall, at the end of one (1) year period, be either removed or used for a purpose permitted in the zone in which it is located.

STORAGE OF  
TOOLS AND  
TRASH

K. The storage of tools, landscaping instruments, household effects, machinery or machinery parts, empty or filled containers, boxes, or bags, trash, materials or other miscellaneous items that shall, in appearance, detract from the aesthetic values of the property, shall be so placed and stored to be concealed from view from the public right-of-way. Trash for collection may be placed at the rear alley line on regular collection days for a period not to exceed eighteen (18) hours, prior to pick-up.

ZONE R-1 REGULATIONS

R-1 ZONE  
USES

A. PROPERTY IN ZONE R-1 MAY BE USED FOR:

1. A single family residence, together with outbuildings customary to such use, located on the same lot or parcel of land, including:
  - a. A private garage with a capacity not to exceed three (3) automobiles.
  - b. A boat repair or storage building for the personal use of the occupant.
  - c. A childrens' playhouse.
  - d. Lath or greenhouse.
  - e. Tool houses.
  - f. Hobby shops not used commercially.

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B. It shall remain the prerogative and in the jurisdiction of the "Committee of Architecture" to review applications and grant approvals for exceptions to this declaration. Variations from requirements and, in general, other forms of deviations from these restrictions imposed by this declaration, when such exceptions, variances, and deviations do, in no way, detract from the appearance of the premises, nor in anyway be detrimental to the public welfare or to the property of other persons located in the vicinity thereof, in the sole opinion of the "Committee".

III. RESIDENTIAL ZONE - GENERAL

DEFINITION  
"RESIDENTIAL  
ZONE"

A. As used in this declaration, "Residential Zone" means Zone R-1 as defined in Ordinance No. 249, County of Imperial, unless otherwise stated in this declaration.

USE OF  
PREMISES

B. A person shall not use any premises in any residential zone, which is designed, arranged or intended to be occupied or used for any purpose, other than expressly permitted in this declaration.

STORAGE OF  
MATERIALS

C. In any building project, during construction and sixty (60) days thereafter, property in a residential zone may be used for the storage of materials used in the construction of the individual buildings in project and for the contractor's temporary office. Said construction period shall not exceed ninety (90) days, unless specifically approved by the Committee of Architecture.

LIVESTOCK

D. A person shall not keep or maintain any live pig or hog or livestock or goats, cows, or fowl of any age in any residential zone, whether such animals are kept or maintained for the personal use of the occupants or otherwise.

ADVERTISING

E. No person shall cause to be erected a sign, advertisement billboard, or advertising structure of any kind on any of the unimproved lots, except that a temporary permit, limited to a ninety-day period, for signs for houses to be sold or exhibited be first obtained by application to the architectural committee. The architectural committee may approve the location of these signs within the front setback of the lot.

TEMPORARY  
BUILDINGS

F. No temporary building, basement, cellar, tent, shack, garage, barn, or other outbuilding or structure shall, at any time, be used for human habitation, temporarily or permanently.

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**REAR YARD  
SETBACK**

3. A rear yard shall be maintained of at least twenty-five feet (25') from the property line to the furthest structural projection, excepting fences, walls, and hedges when used as a boundary line separation.

**VEHICLE  
STORAGE**

**C. VEHICLE STORAGE:**

Every dwelling or other structure in Zone R-1 designed for or intended to be used as a dwelling, shall have on the same lot or parcel of land, automobile space conveniently accessible from the street or alley. This space shall be of sufficient capacity so as to not exceed maximum vehicle storage requirements as outlined above.

**D. SUBDIVISION OF LOTS:**

No lot or parcel of land shall be divided into smaller lots or parcels under any conditions or circumstances whether for lease, sale, or rental purposes.

**E. REQUIRED LAND AREA:**

A person shall not erect, construct, occupy, or use more than one (1) single family residence on any parcel of land or lot.

**F. BUILDING HEIGHT LIMITATION:**

All structures shall be of one-level construction unless otherwise provided for under GENERAL of these restrictions.

PROVIDED, FURTHER, that if any paragraph, section, sentence, clause, or phrase of the restrictions, conditions, and covenants here contained shall be or become illegal, null, or void, for any reason or shall be held by any court of competent jurisdiction to be illegal, null, or void, the remaining paragraphs, sections, sentences, clauses, or phrases herein contained shall not be affected thereby. It is hereby declared that these restrictions, conditions, and covenants herein contained would have been and are imposed and each paragraph, section, sentence, clause, or phrase thereof, irrespective of the fact that any one or more other paragraphs, sections, sentences, clauses, or phrases are or shall become or be illegal, null, or void.

PROVIDED, FURTHER, that if any owner of any lot in said property or his heirs, or assigns, shall violate or attempt to violate any of the conditions, covenants and/or restrictions herein, it shall be lawful for any other person, or persons, owning any other lots in said property to prosecute any proceedings at law or in equity against the person or persons violating or attempting to violate any such conditions, covenants, and/or restrictions and either prevent him or them from so doing or to recover damages or other dues for such violation.

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PROVIDED, FURTHER, that a breach of any of the foregoing conditions, covenants, and/or restrictions shall not defeat or render invalid the lien of any mortgage, or deed of trust in good faith, and for value, as to said property or any part thereof; but such conditions, covenants, and/or restrictions shall be binding upon and effective against any owner of any lot, or lots, in said property whose title is acquired by foreclosure, trustee's sale, or otherwise.

IN WITNESS WHEREOF, GRAYCO LAND ESCROW, LTD. has caused its corporate name and seal to be hereunto affixed by its officers thereunto duly authorized this 9 day of May, 1967.

GRAYCO LAND ESCROW, LTD.

By Robert A. Gray  
Robert A. Gray

Subscribed and sworn to before me this

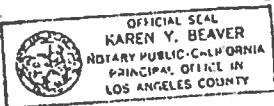
9th day of May 1967

Karen Y. Beaver Notary Public

State of California - Principal Office, Los Angeles County

KAREN Y. BEAVER

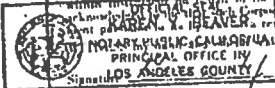
My Commission Expires Feb. 23, 1970



Dated: May 18, 1967

STATE OF CALIFORNIA } SS.  
COUNTY OF Los Angeles  
On May 18, 1967 before me, the undersigned, a Notary Public in and for said State, personally appeared Robert A. Gray known to me to be the President and known to me to be

Secretary of the Corporation that executed the within instrument, known to me to be the persons who executed the within instrument, and the Corporation executed the within instrument in accordance with the resolution of its board of directors.



Beaver  
KAREN Y. BEAVER

My Commission Expires Feb. 23, 1970  
Name (Typed or Printed)

92  
JOHN W. HENDERSON  
MAY 19 1967  
67 MAY 19 PM 2:16  
BOOK 1245 PAGE 959  
INFORMAL COUNTY CLERK

6680

MAY 19 1967  
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